



Design Review Board Staff Report

TO: DESIGN REVIEW BOARD *DF*

FROM: JORDAN FELD, AICP, SENIOR PLANNER
(480) 503-6478, JORDAN.FELD@GILBERTAZ.GOV

THROUGH: CATHERINE LORBEER, AICP, PRINCIPAL PLANNER *ajl*
(480) 503-6016, CATHERINE.LORBEER@GILBERTAZ.GOV

MEETING DATE: SEPTEMBER 11, 2014

SUBJECT: DR14-23, DESERT SHORES PEDIATRICS

STRATEGIC INITIATIVE: Community Livability

The Town's Community Livability Strategic Initiative emphasizes "family focus"; the requested design review furthers this initiative by facilitating the development of a neighborhood-level medical professional office focusing on pediatric-care.

REQUEST

DR14-23, Desert Shores Pediatrics: site plan, landscape, grading and drainage, elevations, floor plans, lighting, colors and materials for approximately 1.15 acres located at north of the northeast corner of Chandler Heights Road and Higley Road zoned Shopping Center (SC) with a Planned Area Development (PAD) overlay.

RECOMMENDED MOTION

Move to approve the Findings of Fact and approve DR14-23, Desert Shores Pediatrics: site plan, landscape, grading and drainage, elevations, floor plans, lighting, colors and materials for approximately 1.15 acres located at north of the northeast corner of Chandler Heights Road and Higley Road zoned Shopping Center (SC) with a Planned Area Development (PAD) overlay.

APPLICANT/OWNER

Company: LGE Design Group
Name: Bret Ryan
Address: 740 N 52nd St
Phoenix, AZ 85008
Phone: 480-966-4001
Email: bretr@lgedesigngroup.com

Company: LDR-NEC Higley & Chandler Heights
Name: Gary Davidson
Address: 1110 E Missouri, #700
Phoenix, AZ 85014
Phone: 602-263-7626
Email: info@dmaphx.com

BACKGROUND/DISCUSSION

History

| Date | Action |
|-------------------------|--|
| <i>April 25, 2000</i> | Town Council adopted Annexation No. A99-23, Ordinance No. 1263. |
| <i>April 25, 2000</i> | Town Council adopted Z-99-62, Ordinance No. 1264, establishing original Town zoning. |
| <i>April 12, 2001</i> | Design Review Board approved DR01-20, Seville Non-Residential Design Guidelines. |
| <i>October 14, 2004</i> | Design Review Board approved DR04-53, Seville Commons Final Site Plan. |
| <i>August 14, 2014</i> | Design Review Board held a study session on the subject request. |

Overview

This request is for design review of a professional medical office specializing in pediatric care located on Lot 6 of Seville Commons; an approved commercial/office shopping center at the northeast corner of Chandler Heights Road and Higley Road. The Seville Commons shopping center is nearly built-out; existing development in the center includes a bank, pharmacy, professional office complex and a planned mini-storage. Lot 6 is located towards the northwest portion of the shopping center along Higley Road; the Lot fronts on Higley Road and its northern side is separated from Palmer Street by a large drainage and open space corridor that serves to buffer the entire shopping center from the surrounding existing single family residential development. Direct access to the proposed medical office will occur via a right-in, right-out driveway off of Higley Road, which was previously constructed with the bank's development. Proposed internal circulation aligns with drives and flow established with previous development and the subject development will include 52 new parking spaces equitably arranged around the west, north and east sides of the proposed building.

Surrounding Land Use & Zoning Designations:

| | Existing Land Use Classification | Existing Zoning |
|-------|---|------------------------|
| North | Residential > 2-3.5 DU/Acre | Single Family-6 (SF-6) |
| South | Shopping Center (SC) | Shopping Center (SC) |

| | | |
|------|------------------------------|------------------------------|
| East | Shopping Center (SC) | Shopping Center (SC) |
| West | Neighborhood Commercial (NC) | Neighborhood Commercial (NC) |
| Site | Shopping Center (SC) | Shopping Center (SC) |

Project Data Table

| | |
|---|---|
| Gross Site Acreage | 1.15 Acres |
| Zoning | Shopping Center (SC) |
| Building Setback Front | 97'-4" (25' min. required) |
| Building Setback Side to Residential/Street | 89'-4" (75' min. required) |
| Building Setback Rear to Non-Residential | 55'-5" (15' min. required) |
| Building Height | 21'-8" / 1-story (35' / 2-stories max. required) |

DISCUSSION

Site

The site plan includes a single public access off of Higley Road supported by internal circulation drives connecting the site to other development within Seville Commons. The proposed use is contained within a single principal structure with a gross floor area of 9,566 square feet. The site plan shows 52 parking spaces for the structure, well over the minimum 38 spaces required for this use. The building itself contains a standard medical office layout with a large waiting area immediately off the building's north and west primary entrances, several exam rooms flanking the building perimeter and centrally-located spaces for business operations (including nurses stations, storage, working stations and conference space). The site's perimeter yards (north and west) contain a 3'-4" decorative screen wall and the proposed trash enclosure at the site's northeast corner is screened by a proposed 6' masonry wall.

Landscape

The landscape plan notes the location of existing decorative landscaping installed previously adjacent to the site as well as proposed landscaping. Proposed landscaping includes a dominant palette of Chinese Elm trees with concentrations of Agaves and Ruellias along the building's exterior walls. Secondary landscaping treatments include Sisso Trees with pockets of Red Yucca, Deer Grass Desert Spoon and Orange Jubilee. The proposed landscaping appears to adequately soften the building's mass, provide visual interest to the site and give ease of access for pedestrians through shade and route differentiation.

Grading and Drainage

The site is relatively flat with a gentle downward grade from southeast to northwest. The G&D plan sheet calls out a minimum storm water retention requirement of 11,272 cubic feet with 11,393 cubic feet being provided. The proposed building's first floor elevation of 1321.25' ASL is only 2' higher than the adjacent elevation of Higley Road ROW (1319' ASL). The proposed grading and drainage plan for the site meets the development requirements for the Town of Gilbert's Engineering Department.

Elevations, Floor Plans, Colors and Materials

Proposed elevations for the site include the building, parking lot screen walls, the proposed security lighting poles, and the parking shade canopy proposed for the parking spaces located in the rear of the site. The dominant public sides of the building are the northern and western elevations. These elevations include a variety of finishing treatments including stone veneer, stucco, metal and wood trims. The main entry into the building is set-off by a large wood shade trellis supported by wood posts and a wood soffit canopy. This canopy is further complimented by proposed decorative pavement connecting the northern and western main entrances. The southern elevation includes a secondary wood trellis structure as well. The building design itself is flat roof with a stucco parapet wall. Both the northern and southern elevations show a recessed wall with a sloped roof shade element. The overall color palette is characterized by muted desert earth-tones; specifically shades of stone, sand and taupe are being proposed.

Lighting

The photometric plan for the site shows zero or nominal light trespass at the property line and zero trespass at the Palmer Road ROW limit. Site security lighting is primarily achieved through three 25' tall light standards and a series of wall and bollard mounted LED and Halide down-lights. All site lighting will be required to comply with Town codes.

Signage

Conceptual signage is shown on the perspective rendering and signage placement for the site has also been identified. However, a formal signage plan has not been submitted to date.

Design Review Board Study Session

At the DRB's August 14, 2014 Study Session, the DRB reviewed the subject request and found the proposal generally acceptable with two comments. These comments questioned the fit of the sloped roof/canopy design along the northern elevation of the building as well as the use of colors (or child-oriented design) along the same elevation. The applicant has considered these comments and in working with the property owner, have decided to go forward with the original design as it they believe it meets both the goals of the community and the proposed business itself.

PUBLIC NOTIFICATION AND INPUT

An official notice was posted in all the required public places within the Town and neighborhood notice was provided per the requirements of the Land Development Code Article 5.205.

Staff has not received any comments from the public.

STAFF RECOMMENDATION

Approve the Findings of Fact and approve DR14-23, Desert Shores Pediatrics: site plan, landscape, grading and drainage, elevations, floor plans, lighting, colors and materials for approximately 1.15 acres located at north of the northeast corner of Chandler Heights Road and Higley Road zoned Shopping Center (SC) with a Planned Area Development (PAD) overlay.

1. Construction of the project shall conform to the exhibits approved by the Design Review Board at the September 11, 2014 public hearing.
2. The construction site plan documents shall incorporate the Standard Commercial and Industrial Site Plan Notes adopted by the Design Review Board on March 11, 2004.
3. Proposed signage complying with the Land Development Code and/or Comprehensive Sign Package shall be approved administratively by Planning Staff prior to submitting for sign permits.

Respectfully submitted,



Jordan Feld, AICP
Senior Planner

Attachments:

1. Notice of Public Hearing/Vicinity Map
2. Aerial Photo
3. Site Plan
4. Landscape
5. Grading and Drainage
6. Elevations
7. Lighting
8. Colors and Materials
9. Findings of Fact

FINDINGS OF FACT
DR14-23, Desert Shores Pediatrics

1. The project as conditioned is consistent with the applicable Design Guidelines;
2. The project conforms to the General Plan, and specifically to the Land Use, Community Design, and Environmental Planning Elements;
3. The project is consistent with all applicable provisions of the Zoning Code;
4. The project is compatible with adjacent and nearby development; and
5. The project design provides for safe and efficient provision of public services.

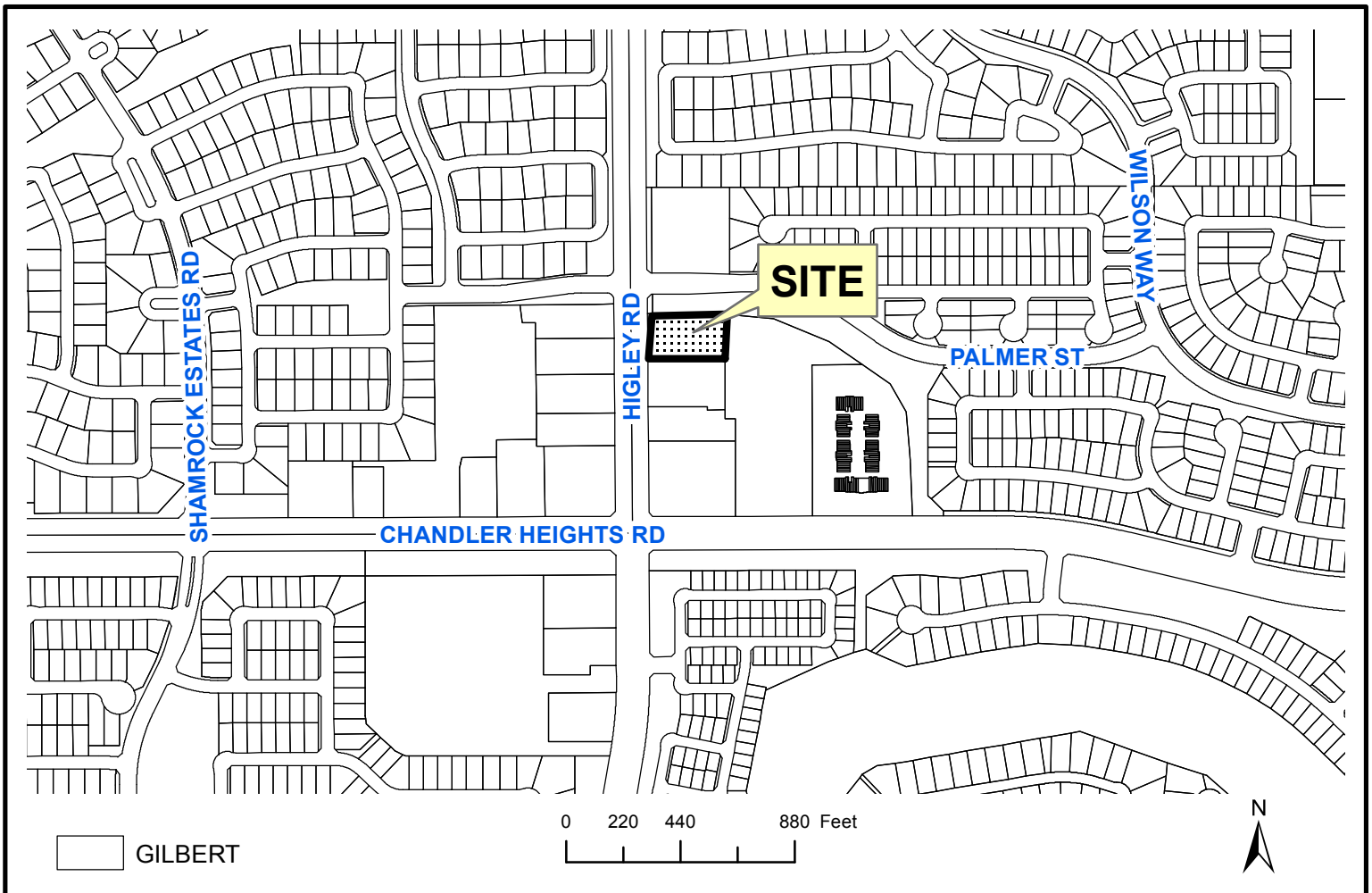
September 11, 2014

Notice of Public Hearing

DESIGN REVIEW BOARD DATE:**Thursday, September 11, 2014* TIME: 5:30 PM****LOCATION: Gilbert Municipal Center, Room 300****50 E. Civic Center Drive***** Call Planning Department to verify date and time: (480) 503-6700****REQUESTED ACTION:**

DR14-23: Request to approve the final site plan, landscape plan, grading and drainage, lighting, building elevations, colors and materials for Desert Shore Pediatrics, located north of the northeast corner of Higley Road and Chandler Heights Boulevard. The subject site is located on 1.15 acres and zoned Shopping Center (SC) zoning district.

* The application is available for public review at the Town of Gilbert Development Services division Monday - Thursday 7 a.m. - 6 p.m. Staff reports are available the Monday prior to the meeting at <http://www.gilbertaz.gov/departments/development-services/planning-development/design-review-board>

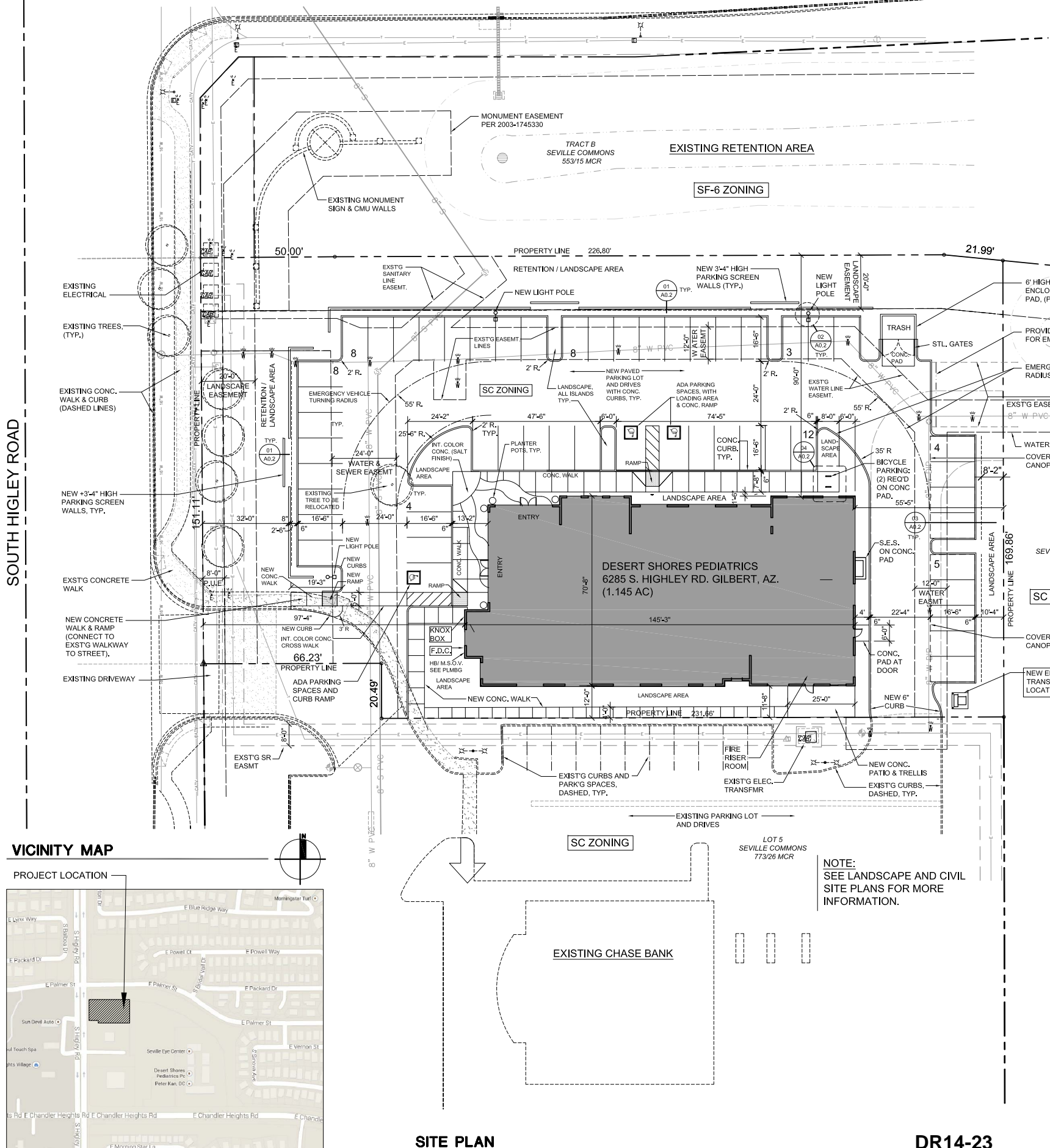
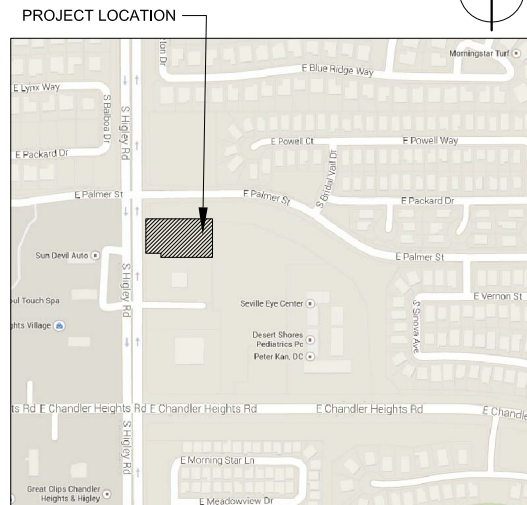
SITE LOCATION:**APPLICANT: LGE Design Group****CONTACT: Bret Ryan****ADDRESS: 740 N 52nd St.****Phoenix, AZ 85008****TELEPHONE: (480) 966-4001****E-MAIL: bretr@lgedesigngroup.com**



DR14-23
Attachment 2: Aerial Photo
September 11, 2014

SOUTH HIGLEY ROAD

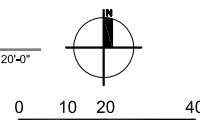
VICINITY MAP



SITE PLAN

DR14-23
Attachment 3: Site Plan
September 11, 2014

SCALE: 1" = 20'-0"



PROJECT DESCRIPTION:

THE PROJECT CONSISTS OF A CONSTRUCTION OF A NEW BUILDING FOR DESERT SHORES PEDIATRIC, A MEDICAL PRACTICE DEVOTED TO PEDIATRIC MEDICINE. THE SITE AND BUILDING PLACEMENT COORDINATES WITH THE ORIGINAL VISION OF THE LAND PLAN AND FOLLOWS THIS VISION AS PART OF THE BUILDING PLACEMENT AND VEHICULAR CIRCULATION. PARKING FOR THE PROJECT MEET THE CODE REQUIREMENTS FOR THE USE, AND ADA / AND PEDESTRIAN ACCESS HAS BEEN PROVIDED FROM THE FRONT OF THE BUILDING TO HIGLEY ROAD ALONG THE WEST FRONTAGE. SERVICES TO THE BUILDING ARE LOCATED ON THE SOUTH SIDE TO HELP SCREEN THESE ITEMS, WITH THE REFUSE ENCLOSURE LOCATED ALONG THE NORTH FRONTAGE ADJACENT TO A VERY LARGE LANDSCAPE BUFFER TO ASSIST IN THE SCREENING OF THIS ITEM. THE BUILDING SECTION WILL ALLOW FOR A ROOF TOP WELL FOR ALL OF THE MECHANICAL SYSTEMS AND THE PARAPET CONDITION THAT WILL FULLY SCREEN ALL OF THESE ITEMS.

THE BUILDING FLOOR PLAN DESIGN IS ORGANIZED AROUND A MAIN WAITING AREA ON THE WEST SIDE OF THE BUILDING, WITH EXAM ROOMS PRIMARILY ALONG THE PERIMETER TO ALLOW FOR NATURAL LIGHT TO ENTER THESE ROOMS VIA HIGH WINDOWS. THE ARCHITECTURAL THEME OF THE BUILDING UTILIZES COLORS THAT ARE COMMON IN THE AREA, BUT ADAPTS TRADITIONAL GILBERT AGRICULTURAL THEMES WITH WOOD SIDING, AND

PROJECT DATA:

OWNER: DESERT SHORES PEDIATRICS
3336 E. CHANDLER HEIGHTS ROAD, SUITE 132
GILBERT, AZ 85298

PROJECT ADDRESS: 6285 S. HIGLEY ROAD
GILBERT, AZ 85298

DEVELOPER: LGE DESIGN BUILD
740 NORTH 52ND STREET
PHOENIX, AZ. 85008

ARCHITECT: LGE DESIGN GROUP
740 NORTH 52ND STREET
PHOENIX, AZ. 85008
ARCHITECT: VINCE DALKE
PROJECT DIRECTOR: BRETT RYAN
PHONE: 480-966-4001

PROJECT SCOPE: A NEW MEDICAL OFFICE BUILDING

ASSESSOR PARCEL NO.: 304-79-810

CURRENT ZONING: SC

SITE AREA: NET: 49,892 S.F. (1.15 ACRES)
GROSS: 59,714 S.F. (1.37 ACRES)

STORIES: ONE STORY

GROSS BUILDING S.F.: 9,566 S.F.

LOT COVERAGE: 19.17%

LANDSCAPE AREA: 18,331 S.F.

LANDSCAPE COVERAGE: 36.74%

OCCUPANCY: B

CONSTRUCTION TYPE: V-B

CLEAR HEIGHT: 12'-0"

BUILDING HEIGHT: 21'-8"

| REQUIRED PARKING CALCS: | | | |
|-------------------------|------------|--------------|--------------------------|
| OCCUPANCY | SQUARE FT. | FACTOR | TOTAL |
| SHOPPING CENTER | 9,566 S.F. | 1 / 250 S.F. | 38 OCC. |
| TOTAL: | | | 38 OCC. |
| PARKING PROVIDED | | | 49 |
| TOTAL REGULAR SPACES | | | 3 |
| TOTAL ACCESSIBLE SPACES | | | 52 |
| TOTAL SPACES | | | 55 |
| PARKING RATIO | | | 5.43 CARS FOR 1,000 S.F. |

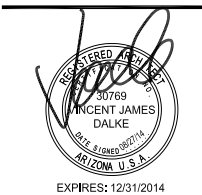
STANDARD SITE PLAN NOTES:

- ALL UTILITY LINES LESS THAN 69 KV ON OR CONTIGUOUS TO THE SITE SHALL BE INSTALLED OR RELOCATED UNDER GROUND.
- ALL TRASH ENCLOSURES SHALL INCLUDE FULLY OPAQUE SCREENING GATES, FINISHED AND PAINTED TO MATCH THE ENCLOSURE. SCREENING GATES SHALL NOT OPEN INTO VEHICULAR DRIVE AISLES. TRASH ENCLOSURES ARE NOT REQUIRED IN INDUSTRIAL DISTRICTS IF LOCATED INSIDE AN ENCLOSED YARD WHICH IS SCREENED BY A PERIMETER WALL AT LEAST 6 FEET IN HEIGHT.
- ALL OUTDOOR STORAGE AREAS FOR STORAGE OF MATERIALS AND EQUIPMENT SHALL BE FULLY SCREENED FROM VIEW BY A 8' SOLID MASONRY WALL. INDUSTRIAL STORAGE SCREEN WALLS SHALL BE FINISHED WHERE THEY ARE EXPOSED TO PUBLIC VIEW FROM STREETS OR ADJACENT NON-INDUSTRIAL USES.
- S.E.S. PANELS AND ANY OTHER ABOVE GROUND UTILITY CABINET SHALL BE FULLY SCREENED FROM VIEW FROM STREETS OR FROM AREAS ACCESSIBLE TO CUSTOMERS AND THE GENERAL PUBLIC. SCREENING MAY BE ACCOMPLISHED BY ANY ONE OF THE FOLLOWING METHODS:
 - FULLY RECESSING THE CABINET INTO THE BUILDING AND ENCLOSING IT BY A SOLID DOOR OR DOORS SEPARATE FROM THE CABINET;
 - SCREENING WITH A DECORATIVE MASONRY WALL OF THE SAME HEIGHT AS THE PANEL. THE SCREEN WALL MAY BE L-SHAPED, U-SHAPED OR A STRAIGHT WALL PARALLEL TO THE CABINET, DEPENDING ON THE LOCATION OF THE CABINET;
 - AN ALTERNATIVE SCREENING METHOD APPROVED BY THE PLANNING DEPARTMENT PRIOR TO ISSUANCE OF ANY PERMITS.
- THE LOCATION OF ALL ELECTRICAL UTILITY EQUIPMENT SHALL BE IDENTIFIED ON THE CONSTRUCTION PLANS.
- ROOF-MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY EITHER ONE OF THE FOLLOWING METHODS:
 - THE PARAPET WALL OF THE BUILDING SHALL EQUAL OR EXCEED THE HEIGHT OF THE MECHANICAL UNITS, OR;
 - BY LOCATING THE MECHANICAL EQUIPMENT BEHIND THE ROOF PLANES IN THE CASE OF MANSARD, HIP OR OTHER THAN FLAT ROOF.
- ROOF MOUNTED MECHANICAL EQUIPMENT ENCLOSURES OR EQUIPMENT SCREEN WALLS SHALL NOT PROJECT ABOVE THE ROOF PARAPET. TO THE EXTENT PERMITTED BY LAW, SATELLITE DISHES SHALL BE FULLY SCREENED BY A PARAPET WALL.
- GROUND MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED FROM VIEW (FROM STREETS OR SURROUNDING COMMERCIAL USES) BY A COMBINATION OF DECORATIVE WALLS AND AN EVERGREEN VEGETATIVE HEDGE EQUAL TO OR EXCEEDING THE HEIGHT OF THE EQUIPMENT.
- PNEUMATIC TUBES, WHETHER METAL OR PLASTIC, SHALL BE EITHER:
 - ENCLOSED IN PILASTERS, COLUMNS OR OTHER ARCHITECTURAL FEATURES OF THE CANOPY OR BUILDING, OR;
 - ROUTED UNDER GROUND.
- ALL BACKFLOW PREVENTION DEVICES LARGER THAN 2" SHALL BE SCREENED WITH LANDSCAPE LOCATED WITHIN A 6' RADIUS OF THE DEVICE. ALL BACKFLOW PREVENTERS 2" OR SMALLER SHALL BE PLACED IN A LOCKED WIRE MESH CAGE PAINTED TO MATCH THE PRIMARY BUILDING COLOR.
- ALL FREESTANDING LIGHT POLES SHALL:
 - BE LOCATED WITHIN LANDSCAPED AREAS OR PLANTER ISLANDS.
 - HAVE CONCRETE BASES PAINTED TO MATCH THE PRIMARY BUILDING COLOR OR FINISHED TO MATCH PARKING SCREEN WALLS. CONCRETE BASES FOR LIGHT POLES SHALL NOT EXCEED A HEIGHT OF 30" FROM ADJACENT GRADE.
 - BE LOCATED TO AVOID CONFLICT WITH TREES.
- SITE LIGHTING SHALL COMPLY WITH THE LIGHT AND GLARE CRITERIA SET FORTH IN SECTION 4.103 OF THE LDC, INCLUDING A MAXIMUM FREESTANDING LIGHT FIXTURE HEIGHT OF 25'.
- LANDSCAPED AREAS ADJACENT TO PUBLIC RIGHT-OF-WAY SHALL BE MOUNDED AND NATURALLY CONTOURED. NO MORE THAN 50% OF THE REQUIRED (RIGHT-OF-WAY AND LANDSCAPING TRACTS) LANDSCAPING FRONTING ADJACENT STREETS MAY BE USED FOR RETENTION. RETENTION AREA SIDE SLOPES SHALL BE VARIED, AND NO SLOPE SHALL EXCEED A 4:1 MAXIMUM.
- COMMERCIAL BUILDING DOWNSPOUTS SHALL BE INTERNALIZED. INDUSTRIAL BUILDINGS MAY USE EXPOSED DOWNSPOUTS IF ARTICULATED WITH THE ARCHITECTURE OF THE BUILDING AND BUILT WITH A DURABLE MATERIAL SUCH AS STEEL.
- COMMERCIAL DEVELOPMENT VEHICULAR ACCESS POINTS AND PEDESTRIAN ACCESS WAYS SHALL INCLUDE SPECIAL PAVING TREATMENT SUCH AS INTEGRAL COLORED STAMPED CONCRETE, BOAMANITE, OR SIMILAR ALTERNATIVE. LOCATION AND MATERIAL SHALL BE REVIEWED AND APPROVED BY THE PLANNING DEPARTMENT PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
- CUSTOMER, EMPLOYEE AND VISITOR PARKING SHALL BE SCREENED FROM STREET VIEW BY LOW MASONRY WALLS. THE PARKING SCREEN WALLS SHALL BE FINISHED ON BOTH SIDES USING THE SAME MATERIALS AND COLORS, AND A DESIGN TO COMPLIMENT THAT OF THE MAIN BUILDING.
- ALL EXTERIOR METAL SHALL BE FINISHED OR PAINTED TO MATCH THE APPROVED PROJECT COLORS.
- EXISTING ON-SITE PLANT MATERIAL DAMAGED DURING CONSTRUCTION SHALL BE REPLACED WITH COMPARABLE SPECIES AND SIZE.

DESERT SHORES PEDIATRICS



NUMBER REVISION DATE



EXPIRES: 12/31/2014

SHEET TITLE:

SITE PLAN

ISSUE DATE:

08-27-14

DRAWN BY:

LGEDG

CHECKED BY:

VJD

PROJECT No.:

PA14-18

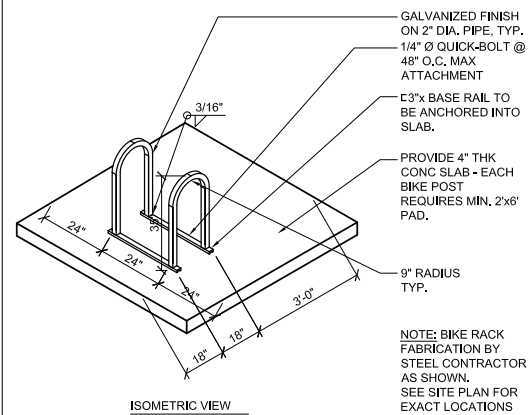
SHEET:

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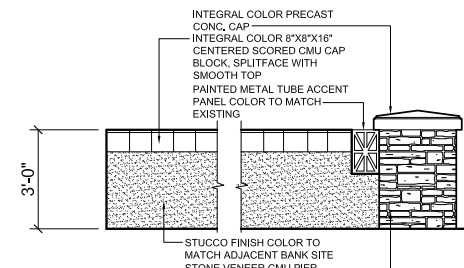
DESIGN GROUP

3336 E. CHANDLER HEIGHTS ROAD, SUITE 132
GILBERT, AZ 85298

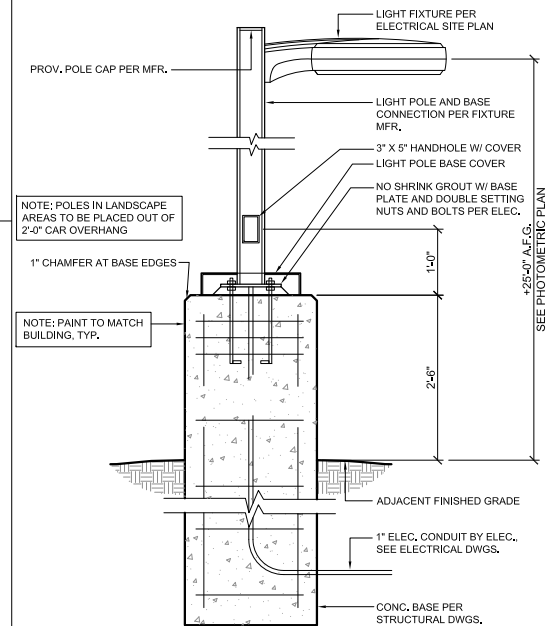
740 N. 52nd Street • Phoenix, AZ • 85008
P. 480.966.4001



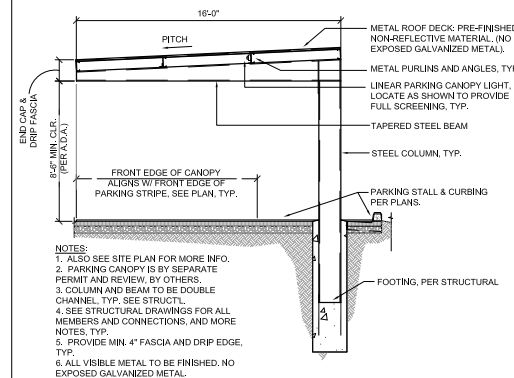
04 BICYCLE RACK



01 PARKING SCREEN WALL ELEVATION



02 LIGHT POLE DETAIL
 SCALE: 3/16" = 1'-0" FILE NAME: _____



03 PARKING CANOPY SCALE: 3/16" = 1'-0" FILE NAME:

[illegible]

740 N. 52nd Street ■ Phoenix, AZ ■ 85008
P: 480.966.4001

DESERT SHORES PEDIATRICS

**S.E.C. HIGLEY ROAD & PALMER STREET
6285 S. HIGLEY ROAD
GILBERT, AZ 85298**

[illegible]

EXPIRES: 12/31/2014

SHEET TITLE:
SITE DETAILS

ISSUE DATE: 7-2-14

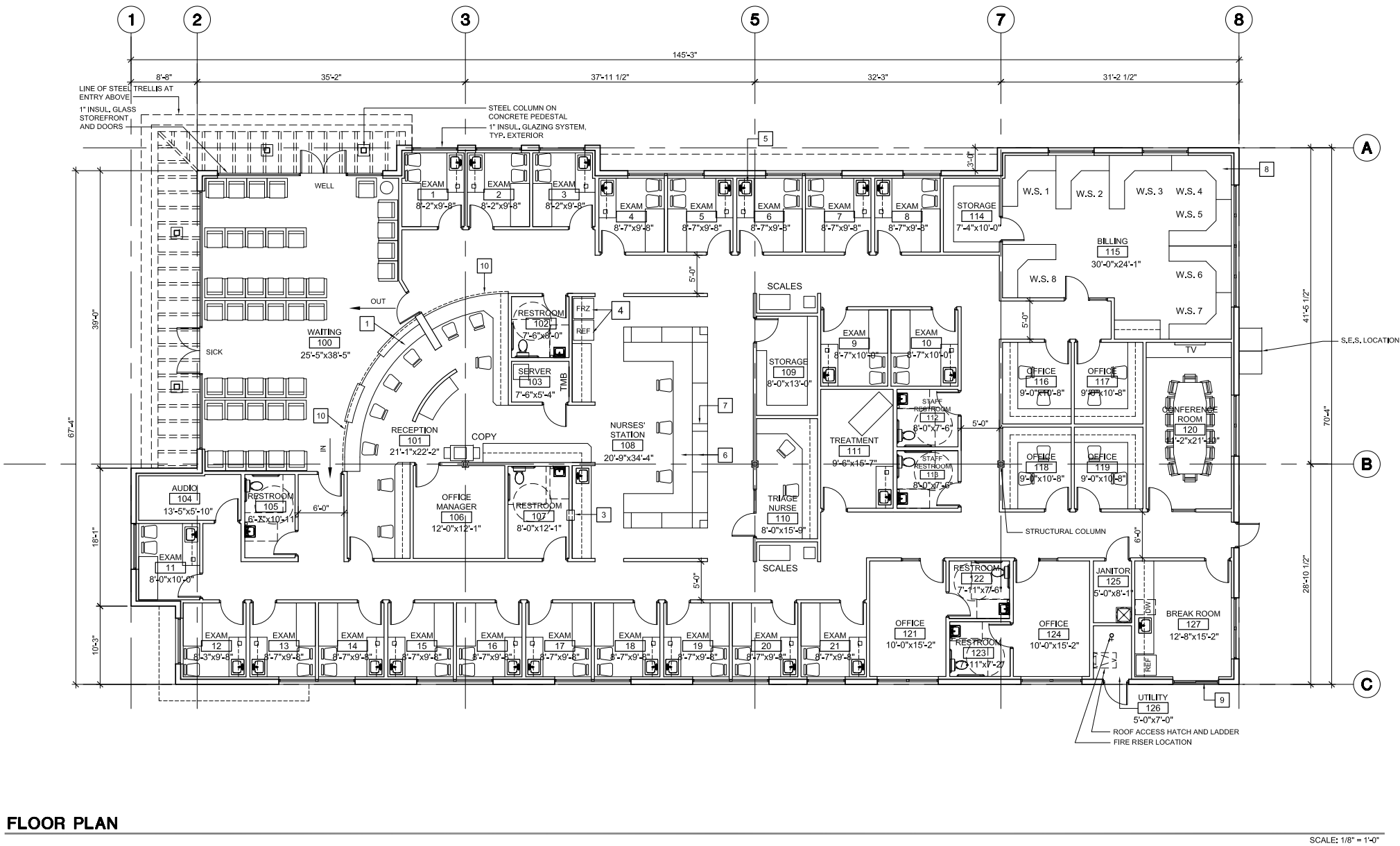
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CHECKED BY: _____

PROJECT No.: PA14-18

SHEET:

A0.2



PLAN NOTES:

FLOORING:

1. WAITING ROOM TO BE 12 X 18 FLOOR TILE IN A RUNNING BOND PATTERN.
2. ALL EXAM ROOMS, CENTRAL DOCTOR/NURSE STATION, AND MAIN HALLWAYS TO VINYL PLANK FLOORING.
3. TREATMENT ROOM TO BE HOSPITAL GRADE SEAMLESS FLOOR WITH INTEGRAL COVE BASE.
4. RESTROOMS TO BE TILE FLOOR, TILE COVER BASE, AND WAINSCOT.
5. ALL OFFICE FLOORING TO BE CARPET WITH VINYL BASE U.N.O.
6. SERVER ROOMS, STORAGE ROOMS AND BREAK AREAS TO BE VCT WITH RUBBER BASE.

INTERIOR WALLS:

1. ALL MAIN CORRIDOR WALLS SHALL BE FULL HEIGHT TO STRUCTURE ABOVE.
2. OFFICES AND CORRIDORS TO BE 5/8" GYP BD OVER STEEL FRAMING, SMOOTH FINISHED, (TWO COATS OF LATEX PAINT) TYPICAL. ALL WALLS SHALL BE INSULATED.
3. FURRING AT EXTERIOR WALLS TO BE 3-5/8" STEEL STUDS WITH R-11 FIBERGLASS INSULATION TO ROOF DECK.
4. PARTITIONS BETWEEN EXAM ROOMS TO EXTEND 6" ABOVE CEILING AND SHALL BE INSULATED.

CEILING:

1. OFFICE CEILINGS TO BE ARMSTRONG SECOND LOOK 2' X 4' SUSPENDED CEILINGS AT 10'-0" U.N.O.
2. MAIN WAITING ROOM AND CONFERENCE ROOM CEILINGS TO HAVE COFFERED GYP. BD. COVE WITH INTEGRAL PERIMETER LIGHTING.
3. ALL EXAM ROOMS TO HAVE SOUND BOOTS FOR ALL RETURN AIR DIFFUSERS AND HAVE ACOUSTIC BATTS ABOVE CEILING, TYPICAL.

DOORS AND FRAMES:

1. ALL OF THE INTERIOR OFFICE DOORS SHALL BE 8'-0" SOLID CORE DOORS IN KNOCK DOWN FRAMES, U.N.O.
2. ALL EXAM ROOM DOORS TO HAVE 2'-0" TALL TRANSOM LITE ABOVE EACH DOOR, TYPICAL.
3. ALL INTERIOR GLASS SHALL BE CLEAR WITH CUSTOM MUTTON PATTERN, FLOOR TO HEAD HEIGHT OF DOOR.

MECHANICAL / PLUMBING:

1. ALL OFFICE AREAS, BREAK AREAS, AND RESTROOMS TO BE AIR-CONDITIONED.
2. PROVIDE MINI-SPLIT HVAC UNIT FOR SERVER ROOM.

ELECTRICAL:

1. PROVIDE 2 X 4 INDIRECT LIGHT FIXTURES AT ALL OFFICE AREAS.
2. PROVIDE DIMMABLE LED DOWN LIGHTING FOR THE MAIN WAITING ROOM AS WELL AS THE CHECK-IN/CHECK-OUT AREA.

MILLWORK / FURNITURE:

1. ALL MILLWORK BASE AND UPPERS TO HAVE AN ALLOWANCE BY THE CONTRACTOR, U.N.O.
2. SEE PLAN NOTES FOR ADDITIONAL MILLWORK INFORMATION.

KEYNOTES:

1. FOR RADIUS CHECK-IN/CHECK-OUT AREA PROVIDE MAIN WORK TOP @ 30" AND TRANSACTION TOP AREA @ 42" ALL TOPS TO BE SOLID SURFACE.
2. CENTRAL ISLAND CABINET WITH STORAGE ON ONE SIDE ONLY.
3. PROVIDE SAMPLE PASS THRU DOOR WHERE NOTED.
4. REFRIGERATOR/FREEZER PROVIDED BY OWNER.
5. MILLWORK FOR EACH EXAM ROOM TO INCLUDE LOCKING LOWE CABINET DOORS. HOLE THROUGH THE TOP FOR TRASH TO LOCKED TRASH CAN BELOW, SOLID SURFACE TOP. UPPERS TO HAVE INTEGRATED PAPER TOWEL DISPECSOR TO ALLOW FOR TOWELS TO BE PULLED DOWN FROM THE INSIDE OF THE UPPER CABINET.
6. THE MILLWORK FOR THE CENTRAL NURSE/DOCTOR AREA WILL CONSIST OF A HIGH OUTER WORK TOP @ 42". AND A LOWER INNER WORK TOP @ 30". PROVIDE FOR UNDERCABINET STORAGE BELOW THE 42" WORK TOP ZONE.
7. PROVIDE FOR 30" TALL BOOK SHELF DIVIDERS BETWEEN THE DOCTOR STATIONS AS DENOTED. THE CORNER UNITS WILL HAVE A CORNER SHEET UNIT AS WELL.
8. THE FURNITURE FOR THE BILLING AREA WILL BE SYSTEMS FURNITURE PROVIDED BY THE OWNER.
9. PROVIDE SLIDING DOOR UNIT FROM THE BREAK ROOM.
10. PROVIDE CURVED ACENT SOFFIT ABOVE CHECK-IN/CHECK-OUT COUNTER WITH DOWNLIGHTING.

FLOOR PLAN DATA:

GROSS BUILDING S.F.: 9,566 S.F.

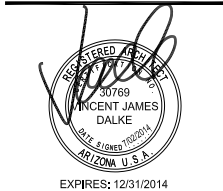
DESERT SHORES PEDIATRICS

LGE DESIGN GROUP

740 N. 52nd Street • Phoenix, AZ • 85008
P. 480.966.4001



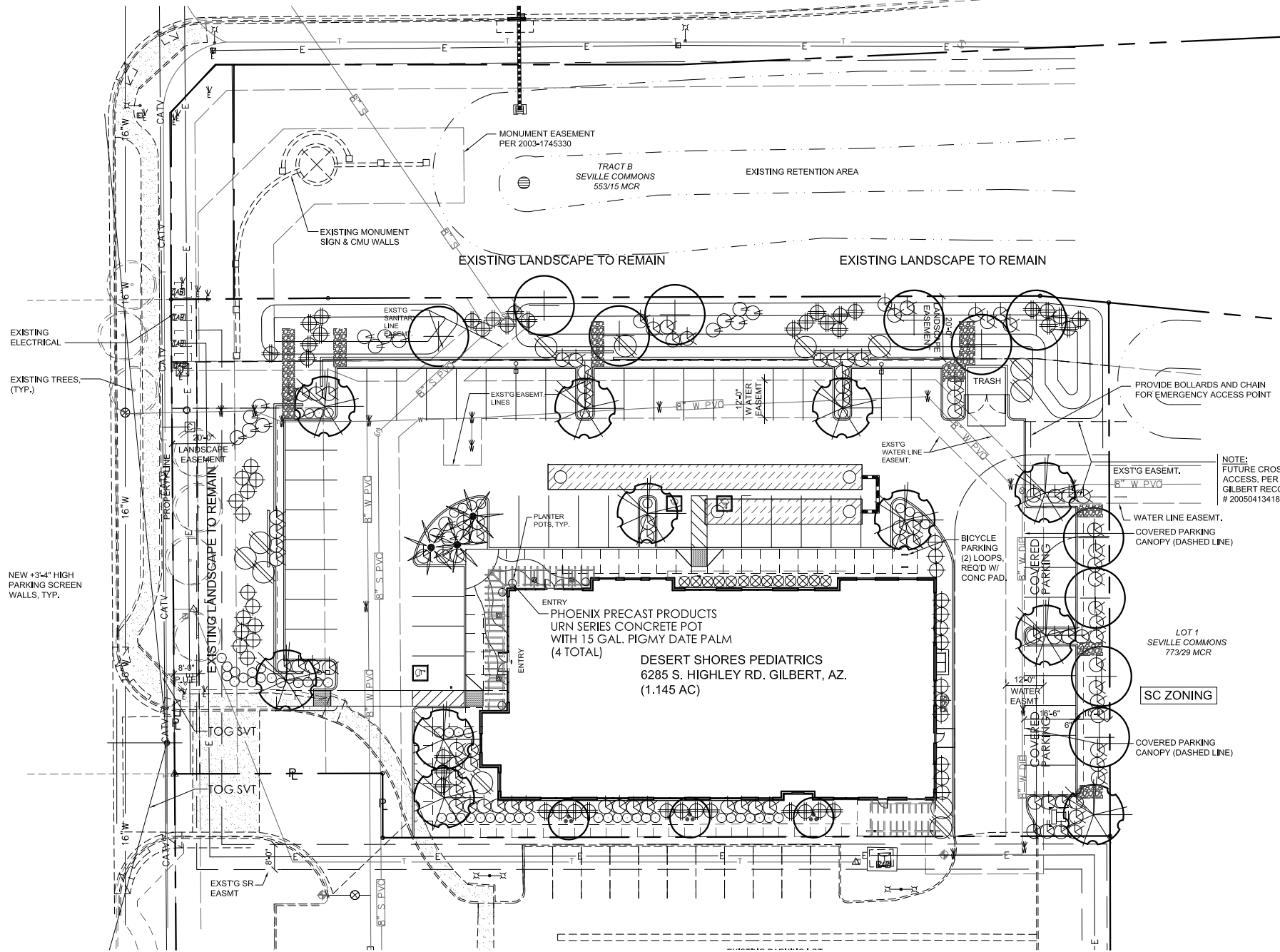
| NUMBER | REVISION | DATE |
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| SHEET TITLE: | FLOOR PLAN |
| ISSUE DATE: | 7-2-14 |
| DRAWN BY: | BCR / JPM |
| CHECKED BY: | VJD |
| PROJECT No.: | PA14-18 |
| SHEET: | A1.1 |

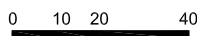
SOUTH HIGLEY ROAD

EAST PALMER STREET



LANDSCAPE PLAN

SCALE: 1" = 20'-0"



TOWN OF GILBERT LANDSCAPE NOTES:

A TOWN OF GILBERT PERMIT IS REQUIRED FOR THE INSTALLATION OF ANY LANDSCAPE OR IRRIGATION. IRRIGATION LINES MUST BE INSPECTED BEFORE BACKFILLING. A CD OF "AS-BUILTS" ARE ALSO REQUIRED.

BEFORE THE TOWN OF GILBERT WILL ACCEPT AN INSTALLED BACKFLOW DEVICE FOR APPROVAL, THE FOLLOWING MUST BE ACCOMPLISHED. THE DEVICE MUST BE TESTED BY A STATE CERTIFIED TESTER, AND THE RESULTS FORWARDED TO THE TOWN OF GILBERT'S BACKFLOW SPECIALIST. THE TOWN OF GILBERT WILL PROVIDE AN UP-TO-DATE LIST OF STATE CERTIFIED TESTERS. ALL RELATED TESTING FEES SHALL BE AT THE EXPENSE OF THE INSTALLER.

DESIGN OF ANY WALLS, ENTRY MONUMENT SIGNAGE OR RAMADAS THAT MAY BE PRESENTED HEREIN HAVE BEEN REVIEWED AS CONCEPTUAL ONLY AND WILL REUIRE A SEPARATE REVIEW AND PERMIT FROM THE BUILDING DEPARTMENT. IN NO CASE SHALL THE DEWPICTED WALLS, ENTRY MONUMENT SIGNAGE OR RAMADAS BE CONSIDERED FINAL. APPROVAL BY THE PLANNING DEPARTMENT IS REQUIRED PRIOR TO A BUILDING PERMIT FOR SAID WALLS, ENTRY MONUMENTS AND REMADAS.

NO PLANT MATERIAL SHALL COME WITHIN 3 FEET OF HIRE HYDRANTS OR ANY FIRE DEPARTMENT EQUIPMENT.

NO PLANTING OR OBJECTS WITHIN THE TOWN OF GILBERT SIGHT VISIBILITY TRIANGLES SHALL EXCEED 2 FEET. TREES SHALL HAVE A 7 FEET MINIMUM CLEAR CANOPY.

ALL TREES, SHRUBS AND GROUNDCOVERS SHALL MEET OR EXCEED ARIZONA NURSERY ASSOCIATION (ANA _SPECIFICATIONS.)

CONSTRUCTION MAY BEGIN AFTER ALL PERMITS HAVE BEEN OBTAINED.

INSTALL ALL SIDEWALKS PER ADA REQUIREMENTS.

AN AUTOMATIC IRRIGATION SYSTEM WILL BE INSTALLED GUARANTEEING 100% COVERAGE TO ALL NEW AND EXISTING LANDSCAPE AREAS. CAGE, CONTROLLER, ASSOCIATED EXPOSED CONDUITS, AND ETC. SHALL CONFORM TO PREDOMINANT COLOR OF BUILDING.

ATTENTION:

THIS PLAN HAS BEEN REVIEWED FOR LANDSCAPE/IRRIGATION IMPROVEMENTS ONLY. A SEPARATE REVIEW AND PERMIT IS REQUIRED FOR STRUCTURES, ELECTRICAL, FENCES/WALLS, POOLS AND SIGNS. CONTACT THE BUILDING DEPARTMENT.

CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THESE PLANS AND ANY DEVIATIONS WILL REQUIRE REAPPROVAL. LANDSCAPE INSTALLATIONS SHALL BE APPROVED BY TOWN OF GILBERT INSPECTION SERVICES BEFORE A CERTIFICATE OF OCCUPANCY CAN BE ISSUED.

MAINTENANCE NOTE:

ALL LANDSCAPE AREAS AND MATERIALS SHALL BE MAINTAINED IN A HEALTHY, NEAT, CLEAN, WEED-FREE CONDITION. THIS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

ALL BACKFLOW PREVENTION DEVICES SHALL MEET THE REQUIREMENTS OF THE TOWN OF GILBERT BACKFLOW PROTECTION ORDINANCE (#849) OTHERWISE KNOWN AS ARTICLE 7-14 OT THE TOWN OF GILBERT MUNICIPAL CODE: CROSS CONNECTION CONTROL (FOR ADDITIONAL BACKFLOW SPECS., SEE: GILBERT UNIFIED LAND DEVELOPMENT CODE APPENDIX.

ALL BACKFLOW DEVICE SHALL BE TESTED BY A STATE CERTIFIED BACKFLOW TESTER AND TEST RESULTS FORWARDED TO THE TOWN OF GILBERT BACKFLOW SPECIALIST. THE TOWN WILL PROVIDE AN UP-TO-DATE LIST OF CERTIFIED TESTERS FROM WHICH TO BE SELECTED. TESTER FEES WILL BE AT THE EXPENSE OF THE INSTALLER.

PROJECT DATA:

OWNER: DESERT SHORES PEDIATRICS
3336 E. CHANDLER HEIGHTS ROAD, SUITE 132
GILBERT, AZ 85298

PROJECT ADDRESS: 6285 S. HIGLEY ROAD
GILBERT, AZ 85298

DEVELOPER: LGE DESIGN BUILD
740 NORTH 52ND STREET
PHOENIX, AZ, 85008

ARCHITECT: LGE DESIGN GROUP
740 NORTH 52ND STREET
PHOENIX, AZ, 85008
ARCHITECT: VINCE DALKE
PROJECT DIRECTOR: BRETT RYAN
PHONE: 480-966-4001

PROJECT SCOPE: A NEW MEDICAL OFFICE BUILDING

ASSESSOR PARCEL NO.: 304-79-810

CURRENT ZONING: SC

SITE AREA: NET: 49,892 S.F. (1.15 ACRES)
GROSS: 59,714 S.F. (1.37 ACRES)

LANDSCAPE AREA: 18,331 S.F. (36%)

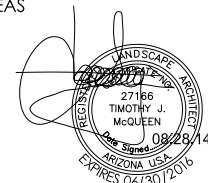
OFF-SITE LANDSCAPE AREA: 1,362 S.F.

TOTAL LANDSCAPE AREA: 19,693 S.F.

LANDSCAPE LEGEND

- EXISTING MATURE TREE TO REMAIN
PROTECT FROM CONSTRUCTION
- ULMUS PARVIFLORA
CHINESE ELM
24" BOX (MATCHING)
- DALBERGIA SISSO
SISSO TREE
24" BOX
- WASHINGTONIA ROBUSTA
MEXICAN FAN PALM
8" TF, 12" TF, 15" TF. SKINNED
- SOPHORA SECUNDIFLORA
TEXAS MOUNTAIN LAUREL
24" BOX
- RUELLIA PENINSULARIS
BAJA RUELLIA
5 GALLON
- HESPERALOE PARVIFLORA
RED YUCCA
5 GALLON
- EREMOPHILA MACULATA
VALENTINE BUSH
5 GALLON
- MUHLENBERGIA 'REGAL MIST'
REGAL MIST DEER GRASS
5 GALLON
- TECOMA 'ORANGE JUBILEE'
ORANGE JUBILEE
5 GALLON
- STRELITZIA RIGINEA
TROPICAL BIRD OF PARADISE
5 GALLON
- LANTANA MONTEVIDENSIS
'GOLD MOUND'
1 GALLON

MATCH ADJACENT R.O.W GRANITE
DECOMPOSED GRANITE
2" DEPTH IN ALL LANDSCAPE AREAS



T.J. McQUEEN & ASSOCIATES, INC.
LANDSCAPE ARCHITECTURE
URBAN DESIGN
SITE PLANNING

8433 East Cholla St., Suite 101
Scottsdale, Arizona 85260
P. (602) 265-0320 F. (602) 266-6619
EMAIL: timmcqueen@tjma.net



DESERT SHORES PEDIATRICS

S.E.C. HIGLEY ROAD & PALMER STREET
6285 S. HIGLEY ROAD
GILBERT, AZ 85298



| NUMBER | REVISION | DATE |
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| SHEET TITLE: | LANDSCAPE PLAN |
| ISSUE DATE: | 08/26/14 |
| DRAWN BY: | BCR / JPM |
| CHECKED BY: | VJD |
| PROJECT No.: | |
| SHEET: | |

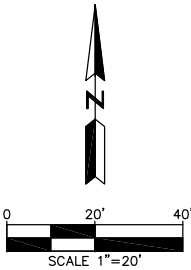
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DR14-23

Attachment 4: Landscape
September 11, 2014

CONCEPTUAL GRADING & DRAINAGE PLAN
FOR
DESERT SHORES PEDIATRICS
6285 S. HIGLEY ROAD
GILBERT, ARIZONA 85298

DR14-23
Attachment 5: Grading and Drainage
September 11, 2014



| NO. | DATE | REVISION | BY |
|-----|------|----------|----|
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PURPOSE:
CONCEPTUAL SUBMITTAL

DESIGN BY: LMT
DRAWN BY: RUM
CHECKED BY: LMT

CIVIL AND SURVEY
HUNTER
ENGINEERING
10450 NORTH 74TH STREET, SUITE 200
SCOTTSDALE, AZ 85258
T 480 991 3985
F 480 991 3986



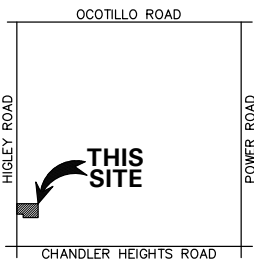
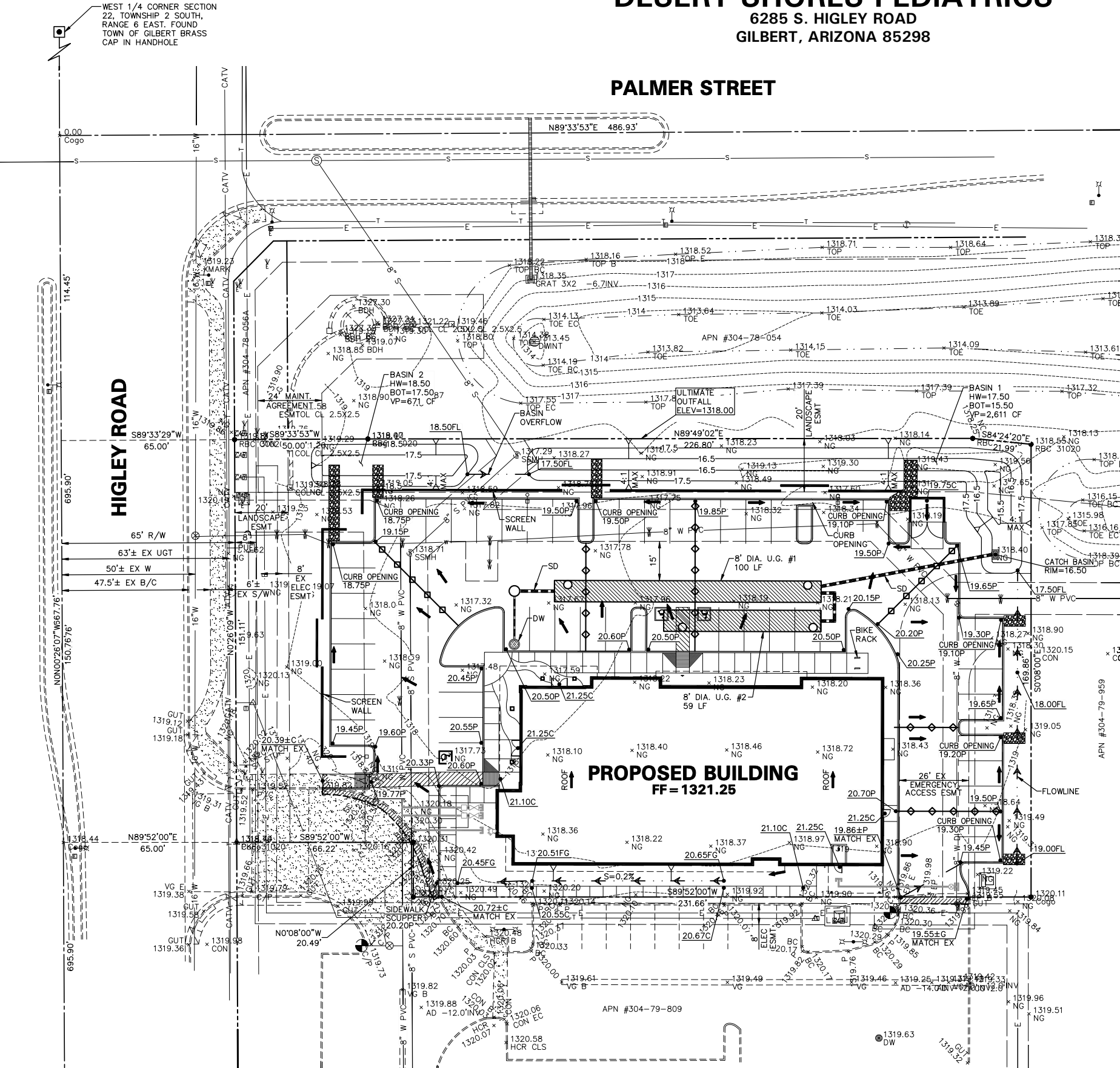
CONCEPTUAL GRADING & DRAINAGE PLAN
FOR
DESERT SHORES PEDIATRICS
6285 S. HIGLEY ROAD
GILBERT, ARIZONA 85298

THESE PLANS ARE
NOT APPROVED FOR
CONSTRUCTION
WITHOUT AN
APPROVED SIGNATURE
FROM THE GOVERNING
MUNICIPALITY.

HE JOB NO.:
LGEC171

SCALE
1"=20'

SHEET
C1



VICINITY MAP

OWNER

DESERT SHORES PEDIATRICS
3336 E. CHANDLER HEIGHTS ROAD, SUITE 132
GILBERT, ARIZONA 85298
PHONE: (480) 966-4001
CONTACT: BRET RYAN

ARCHITECT

LGE DESIGN GROUP
740 N. 52ND STREET
PHOENIX, ARIZONA 85008
PHONE: (480) 966-4001
CONTACT: BRET RYAN

CIVIL ENGINEER

HUNTER ENGINEERING, INC.
10450 N. 74TH STREET, SUITE #200
SCOTTSDALE, ARIZONA 85258
PHONE: (480) 991-3985
FAX: (480) 991-3986
CONTACT: LARRY TALBOTT

SHEET INDEX

CONCEPTUAL GRADING & DRAINAGE PLAN C1
CONCEPTUAL UTILITY PLAN C2

LEGEND

- PROPOSED GRADE BREAK
- PROPOSED CONTOUR
- PROPOSED FLOWLINE
- PROPOSED FLOW ARROW
- PROPOSED SPOT ELEVATION
- PROPOSED DRYWELL PLUS

DRYWELL NOTE

- ALL DRYWELLS SHOWN ON THIS PROJECT SHALL BE MAINTAINED BY THE OWNERS AND ARE TO BE REPLACED BY THE OWNER WHEN THEY CEASE TO DRAIN THE SURFACE WATER IN A THIRTY-SIX-HOUR PERIOD. REGULAR MAINTENANCE OF THE DRYWELL SILTING CHAMBER IS REQUIRED TO ACHIEVE THE BEST OPERATION OF THE DRYWELL.
- RETENTION BASINS PONDING TO A DEPTH OF LESS THAN ONE FOOT REQUIRE A PERCOLATION TEST TO BE PERFORMED TO SHOW THE BASIN'S ABILITY TO DRAIN NATURALLY WITHIN THIRTY-SIX (36) HOURS. SHOULD ANY BASIN FAIL TO DRAIN ANY STORM EVENT UP TO AND INCLUDING THE FIFTY-YEAR, TWENTY-FOUR-HOUR STORM WITHIN THIRTY-SIX (36) HOURS, THE OWNER(S) WILL MAKE THE NECESSARY CORRECTIONS.
- ALL DRYWELLS MUST MEET THE TOWN OF GILBERT'S DRYWELL POLICY AND MUST COMPLY WITH ADEQ REGULATIONS.

RETENTION CALCULATIONS

$V_R = DAC$, $D=0.25$, 50YR-24 HR STORM
RETENTION REQUIRED
ON-SITE $V_R = (0.90)(0.25)(1.146)(43,560) = 11,232$ CU.FT.
TOTAL REQUIRED 11,232 CU.FT.
RETENTION PROVIDED
BASIN 1 2,611 CU.FT.
BASIN 2 671 CU.FT.
100 LF U.G. PIPE #1 5,027 CU.FT.
59 LF U.G. PIPE #2 2,965 CU.FT.
TOTAL PROVIDED 11,274 CU.FT.
TOTAL PROVIDED 11,274 CU.FT
TOTAL REQUIRED 11,232 CU.FT
EXCESS 42 CU.FT

NORTH ELEVATION

WEST ELEVATION

SOUTH ELEVATION

EAST ELEVATION

GENERAL NOTES:

- SEE STRUCTURAL DRAWINGS FOR LINTEL INFORMATION.
- SEE DOOR SCHEDULE FOR ROLL-UP DOOR HEIGHTS.
- SEE STRUCTURAL DRAWINGS FOR CONTROL JOINT LOCATIONS.
- ROOF DRAINAGE WILL BE INTERNAL ROOF DRAINS.
- MECHANICAL UNITS ARE FULLY SCREENED BY PARAPET.

GLAZING KEY:

| MATERIAL: | DESCRIPTION: |
|------------------|--|
| FRAMES | ALUMINUM STOREFRONT TO MATCH METAL SALES "LINEN WHITE" |
| EXTERIOR GLAZING | 1" GRAY REFLECTIVE INSULATED GLAZING |
| INTERIOR GLAZING | 1/4" CLEAR GLAZING |

MATERIAL KEY:

| KEY: | DESCRIPTION: |
|------|--|
| S1 | STONE TO MATCH STONE AT SEVILLE CULTURED STONE OR SIMILAR |
| R1 | CONCRETE TILE ROOF - "AUTUMNWOOD" BORAL ROOFING #1MDCL3002 |

PAINT KEY:

| KEY: | DESCRIPTION: |
|------|--|
| P1 | DUNN EDWARDS # DE6171 "SAND DOLLAR" |
| P2 | DUNN EDWARDS # DE6172 "BUNGALOW TAUPE" |
| P3 | DUNN EDWARDS # DE6173 "PAPER SACK" |
| P4 | DUNN EDWARDS # DE6229 "CALICO ROCK" |
| P5 | DUNN EDWARDS # DE6226 "FOGGY DAY" |

PAINTING NOTES:

- PAINTER TO PROVIDE FIVE COLOR SCHEME WITH ALL DECORATIVE BANDS MASKED AND PAINTED IN COLORS TO BE SELECTED.
- SEALANTS FOR THE PROJECT TO MATCH ADJACENT MATERIAL COLORS - NO WHITE OR OFF WHITE COLORS.
- PAINTER TO PREPARE SAMPLES WITH APPROPRIATE COLOR TO BE APPROVED BY OWNER PRIOR TO APPLICATION ON BUILDING FACADES.
- PAINTER TO PROVIDE TWO COATS OF SEALER TO ALL EXPOSED NATURAL BLOCK, PRECAST CONCRETE, UNPAINTED CONCRETE AND OTHER MATERIALS AS REQUIRED TO PROVIDE A WEATHER SEALED PROJECT.



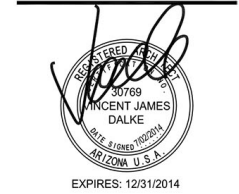
PERSPECTIVE RENDERING

DESERT SHORES PEDIATRICS

S.E.C. HIGLEY ROAD & PALMER STREET
6285 S. HIGLEY ROAD
GILBERT, AZ 85298



| NUMBER | REVISION | DATE |
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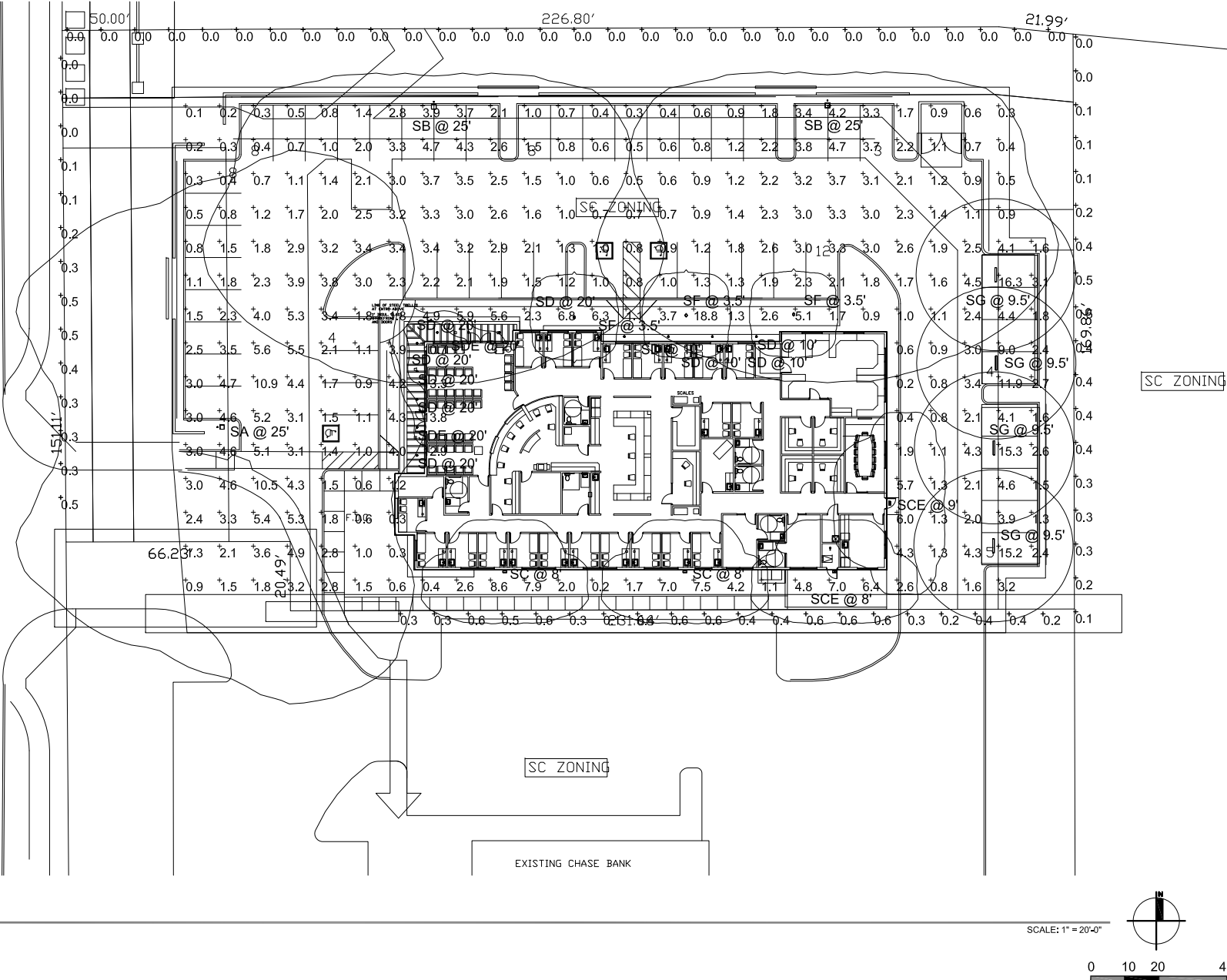
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| SHEET TITLE: | PERSPECTIVE RENDERING |
| ISSUE DATE: | 7-2-14 |
| DRAWN BY: | BCR / JPM |
| CHECKED BY: | VJD |
| PROJECT No.: | PA14-18 |
| SHEET: | A3.2 |

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NC ZONING

SOUTH HIGLEY ROAD

SITE PHOTOMETRIC PLAN



| Luminaire Schedule | | | | | | | | | | |
|--------------------|-------|----------|-------------------------------|--|---|---|--------------|-----------------------------|-----------------|-------------------|
| Symbol | Label | Quantity | Manufacturer | Catalog Number | Description | Lamp | Number Lamps | Filename | Lumens Per Lamp | Light Loss Factor |
| | SA | 1 | Lithonia Lighting | KSF2 400M R3/ SSS 22.5' WITH 2.5' BASE | Specification Area Luminaire, 400W Metal Halide, R3 Reflector, Full Cutoff MEETS THE 'NIGHTTIME FRIENDLY' CRITERIA | ONE 400 WATT CLEAR ED28 PULSE START METAL HALIDE IN HORIZONTAL POSITION | 1 | KSF2_400M_R3Jes | 40000 | 0.81 |
| | SB | 2 | Lithonia Lighting | KSF2 400M R4SC/ SSS 22.5' WITH 2.5' BASE | Specification Area Luminaire, 400W Metal Halide, R4SC Sharp Cutoff Reflector, Full Cutoff MEETS THE 'NIGHTTIME FRIENDLY' CRITERIA | ONE 400 WATT CLEAR ED28 PULSE START METAL HALIDE IN HORIZONTAL POSITION | 1 | KSF2_400M_R4SCJes | 40000 | 0.81 |
| | SC | 2 | Lithonia Lighting | WST 70M WT | ARCHITECTURAL SCONCE WITH WIDE THROW DISTRIBUTION WITH CLEAR, FLAT GLASS LENS, CLEAR LAMP, MEETS THE 'NIGHTTIME FRIENDLY' CRITERIA | ONE 70-WATT CLEAR ED-17 METAL HALIDE, HORIZONTAL POSITION. | 1 | WST_70M_WTJes | 5200 | 0.81 |
| | SCE | 2 | Lithonia Lighting | WST 70M WT 2ELED | ARCHITECTURAL SCONCE WITH WIDE THROW DISTRIBUTION WITH CLEAR, FLAT GLASS LENS, CLEAR LAMP, MEETS THE 'NIGHTTIME FRIENDLY' CRITERIA WITH EMERGENCY | ONE 70-WATT CLEAR ED-17 METAL HALIDE, HORIZONTAL POSITION. | 1 | WST_70M_WTJes | 5200 | 0.81 |
| | SD | 10 | Gotham Architectural Lighting | EVO 35/14 6AR LS ND 120 | 6" LED DOWNLIGHT, 3500K, 1400 LUMENS, NARROW DISTRIBUTION WITH SPECULAR REFLECTOR | LED | 1 | EVO_35_14_6AR_LS_ND_120Jes | 1670.5 | 0.9 |
| | SDE | 2 | Gotham Architectural Lighting | EVO 35/14 6AR LS ND 120 EL | 6" LED DOWNLIGHT, 3500K, 1400 LUMENS, NARROW DISTRIBUTION WITH SPECULAR REFLECTOR WITH EMERGENCY | LED | 1 | EVO_35_14_6AR_LS_ND_120Jes | 1670.5 | 0.9 |
| | SF | 3 | Lithonia Lighting | DSXB LED 16C 700 40K SYM | D-SERIES BOLLARD WITH 16 4000K LEDS OPERATED AT 700mA AND SYMMETRIC DISTRIBUTION | LED | 1 | DSXB_LED_16C_700_40K_SYMJes | 2054.802 | 0.9 |
| | SG | 4 | BEGHELLI | BS100LED4100K-4FT-45W-120277 | BEGHELLI LED LUMINAIRE WITH DIFFUSING LINEAR PRISMATIC LENS | 208 WHITE LEDS, LUMEN OUTPUT = 4583 LMS. | 1 | BS100LED-4FT41-50W.JES | 4586.36 | 0.9 |

| Statistics | | | | | | | |
|---------------|--------|--------|---------|--------|---------|---------|---------|
| Description | Symbol | Avg | Max | Min | Max/Min | Avg/Min | Avg/Max |
| PROPERTY LINE | X | 0.2 fc | 0.6 fc | 0.0 fc | N/A | N/A | 0.3:1 |
| SITE | + | 2.8 fc | 16.8 fc | 0.1 fc | 188.0:1 | 28.0:1 | 0:1:1 |

DR14-23
Attachment 7: Lighting
September 11, 2014

DESERT SHORES PEDIATRICS

S.E.C. HIGLEY ROAD & PALMER STREET
6285 S. HIGLEY ROAD
GILBERT, AZ 85298



| NUMBER | REVISION | DATE |
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EXPIRES: 12/31/2014

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| SHEET TITLE: | |
| SITE PHOTOMETRIC PLAN | |
| ISSUE DATE: | 7-2-14 |
| DRAWN BY: | BCR / JPM |
| CHECKED BY: | VJD |
| PROJECT No.: | PA14-18 |

SHEET:

PH.1



P1 - Sand Dollar
DE6171
Dunn Edwards



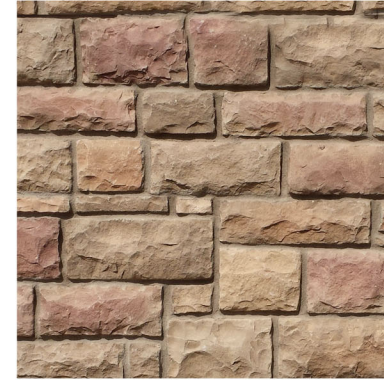
P2 - Bungalow Taupe
DE6172
Dunn Edwards



P3 - Paper Sack
DE6173
Dunn Edwards



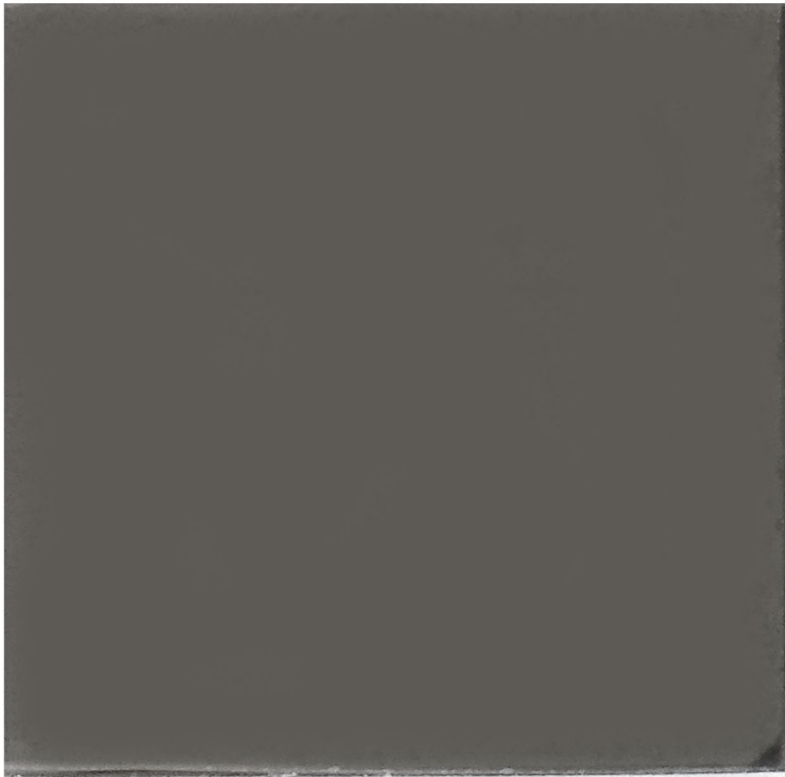
P4 - Calico Rock
DE6229
Dunn Edwards



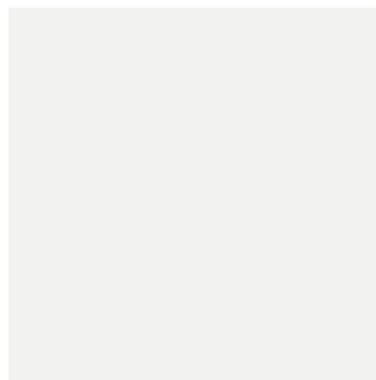
S1 - Stone to match Seville stone
Cultured Stone or Similar



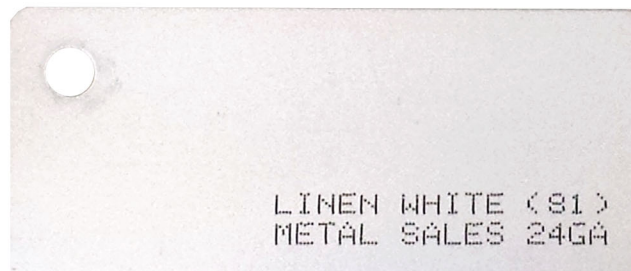
R1 - Concrete Roof Tile
Madera - Autumnwood
1MDCL3002
Boral Roofing



Glass
Solarcool Gray



P5 - Foggy Day
DE6226
Dunn Edwards



Aluminum Storefront
Color to match Linen White



Rendering View